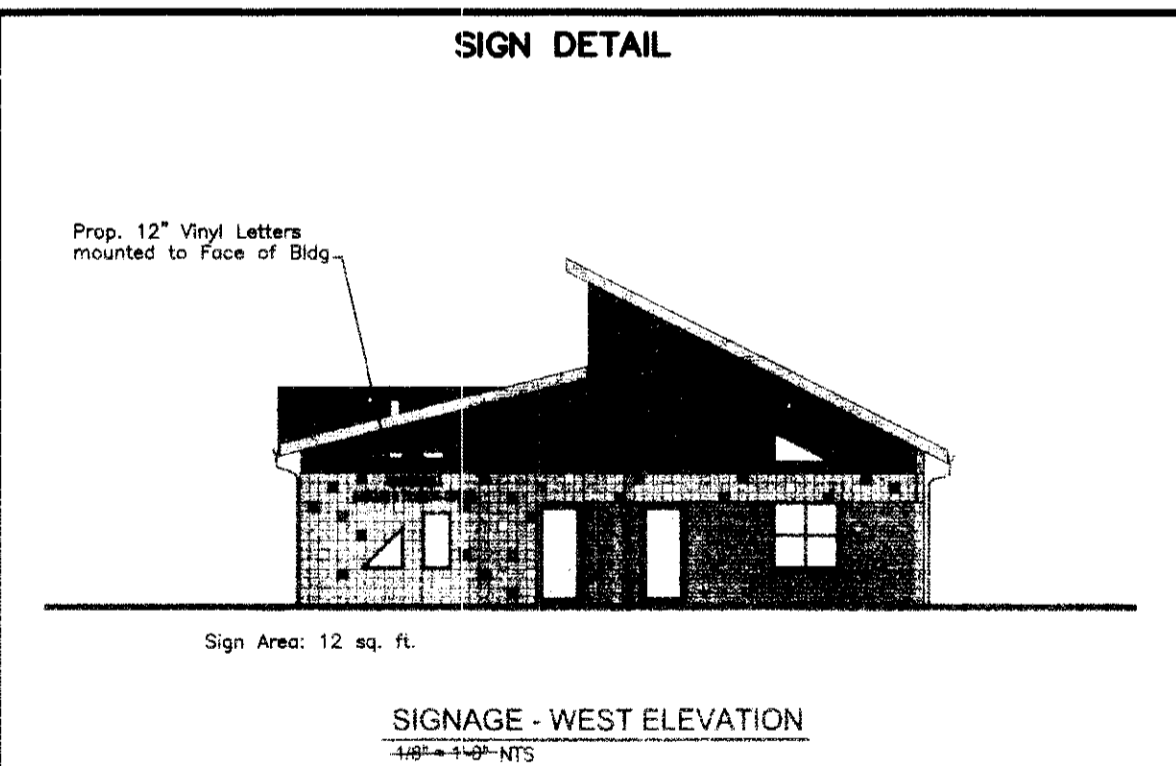
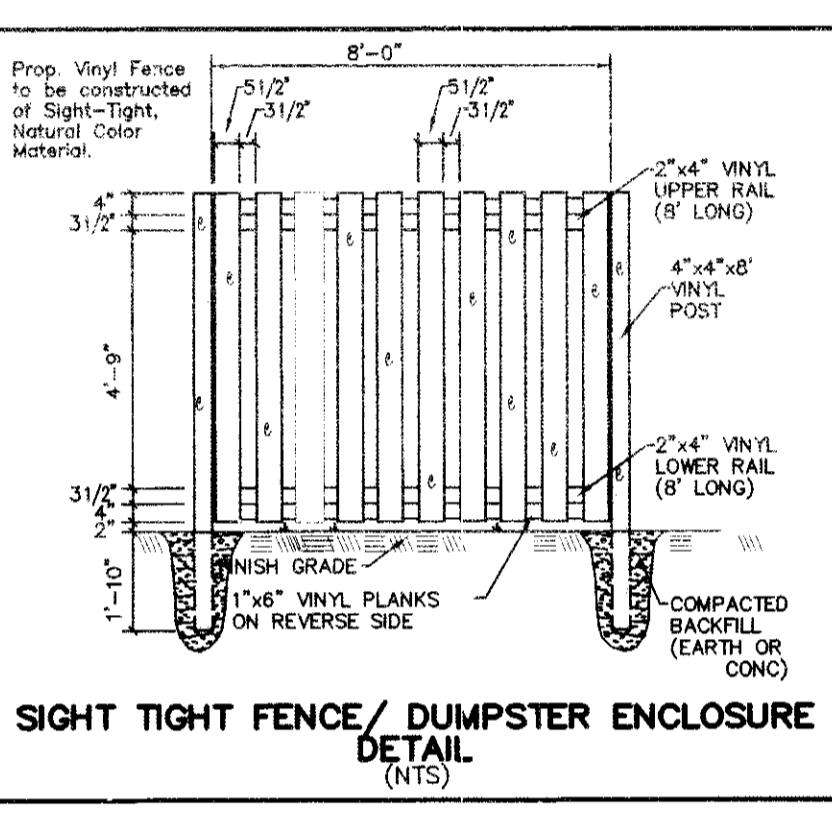
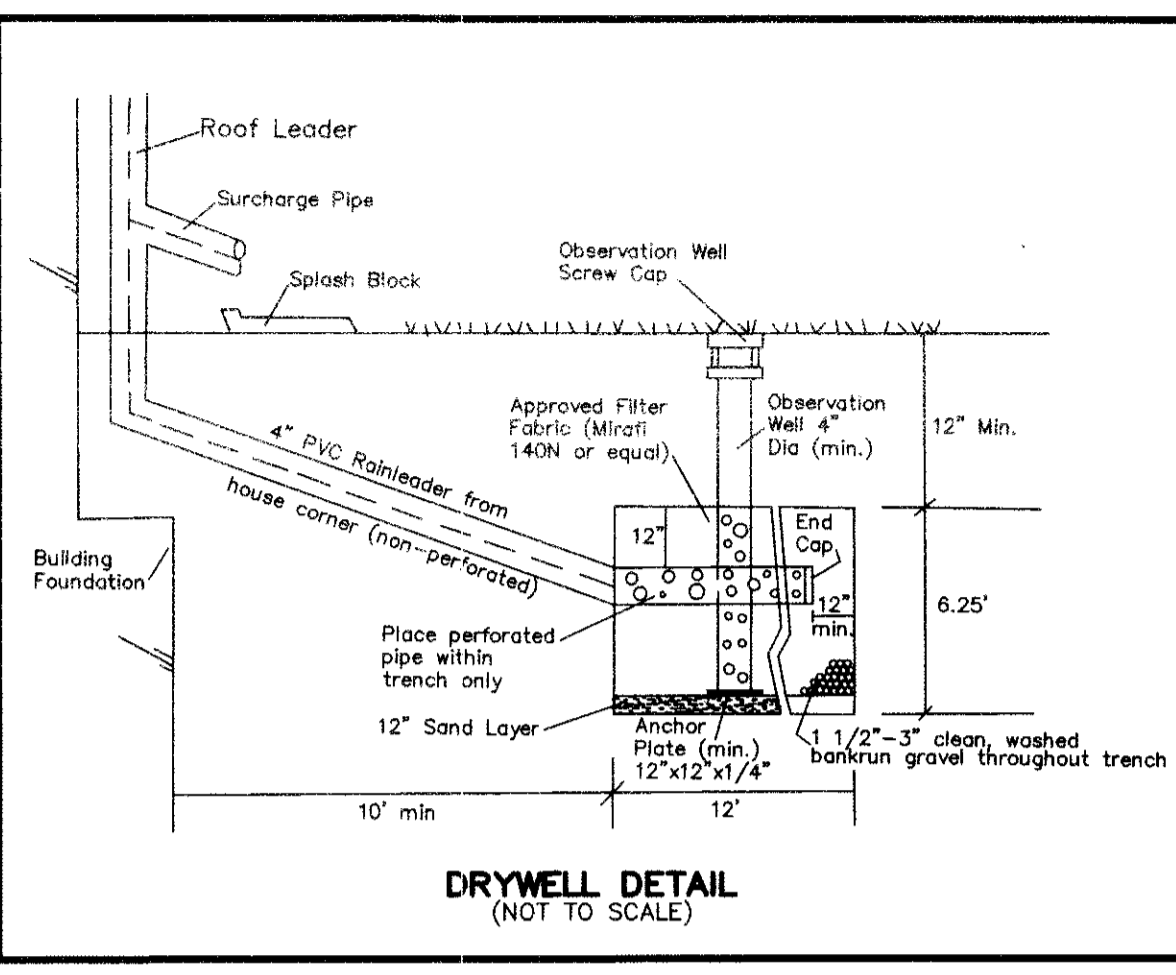


It is the applicant's responsibility to obtain any state permits if required, for any construction activities covered by this plan which impacts a State regulated wetland. Any changes to plans, for this development whether required by the State or initiated by the applicant to meet State requirements, must be approved by PGSCD.

The location of all utilities shown hereon is from field investigation and available records and cannot be guaranteed. Contractor should dig test pits by hand at all utility crossings to verify exact location.

CONTACT "MISS UTILITY"  
48 HOURS PRIOR TO TRENCHING  
1-800-257-7777



**Arel Architects, Inc.**  
3013 MacArthur Terrace, Baltimore, MD 21214  
P 410-254-1204 F 410-254-1006

**WALKER MILL DAYCARE AND TRAINING CENTER**  
6719 WALKER MILL ROAD, CAPITOL HEIGHTS, MD 20747

DATE: JUNE 8, 2010  
PROJECT NUMBER: 04089  
SHEET NUMBER: A-1

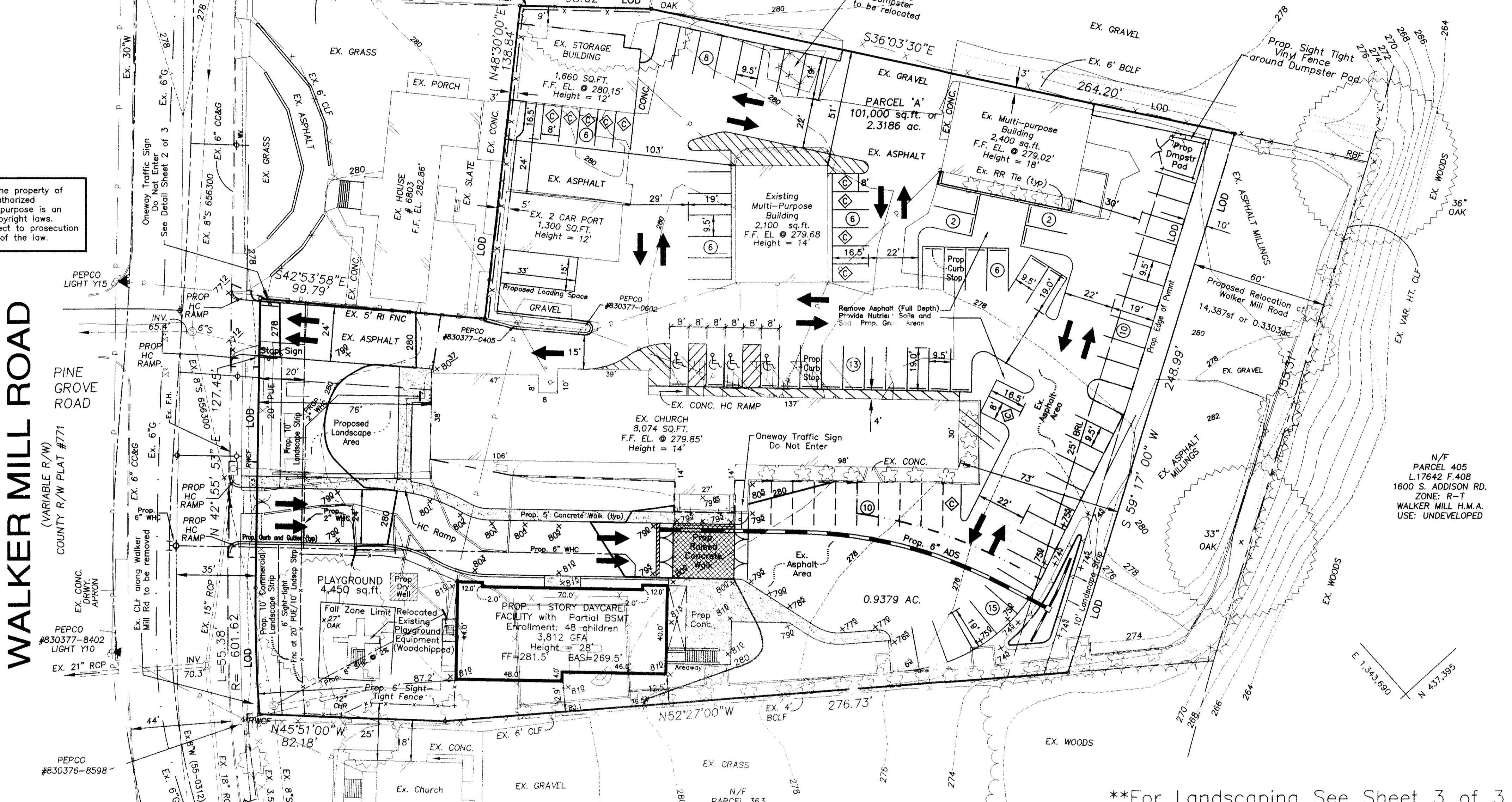
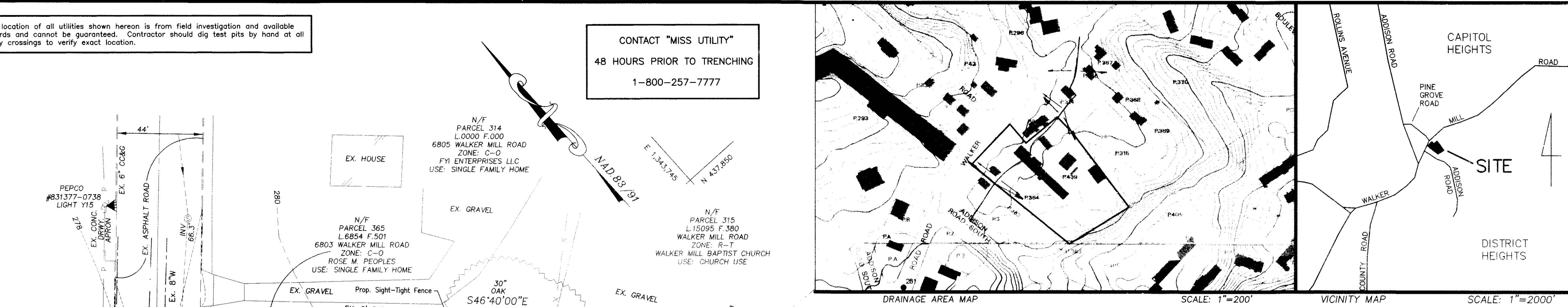
**ENGINEER CERTIFICATION**

I hereby certify that the plan shown hereon conforms to the requirements of Subtitle 4, Division 3 of the Prince George's County, Building Code except for specific modifications and/or waivers, if any, as listed below.

I also certify that I have inspected this site and that drainage onto this site from other upgrade properties, and from this site onto other downgrade properties has been addressed in substantial accordance with applicable codes.

I also certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 17263, Exp. Date: 2-25-2011.

1-21-10  
Date  
*William J. Burrows*  
William J. Burrows  
MD Prof. Engineer #17263



- GENERAL NOTES**
- Subject Site Description: Parcel 'A', Liber 29583 Folio 429 Walker Mill Baptist Church Plat Book: PM 230 Plat: 64
  - Total Site Area: 116,674 sq.ft. or 2.6785 acres
  - Existing Site Use: Church / Daycare Proposed Site Use: Church / Daycare in accessory building
  - Prop. Outdoor Play Area shall be used only during daylight hours between 7am and 9pm, per Section 27-464.02(a) (1)(A)(ii) of the P.G. County Code.
  - Property Zoned: C-0
  - Property located on Prince George's County Tax Map 073 Grid D-4, Tax Exempt ID# 4006060
  - Property located on Prince George's County Street Map 5550 Grid H-2.
  - Property located on Prince George's County Soils Survey Map 25.
  - Property located in Prince George's County Planning Area: 75A-Sullivan-District Heights
  - Property located in Councilmanic District No. 7 Camille A. Exum
  - Property located on Prince George's County 200' scale topography 202 SE 06.
  - Property located on U.S.G.S. Map Anacostia Quadrangle.
  - Soil Types: 50% Emb - Beltsville - Urban Land Complex, 0-5% slopes 50% Sp - Gravel and borrow pits
  - Electric service: PEPCO
  - Telephone service: Verizon
  - Sewage disposal: Public Sewer
  - Water supply: Public Water
  - Existing sewer category: 3
  - Proposed sewer category: 3
  - Existing water category: 3
  - Proposed water category: 3
  - Vertical Datum: M.S.S.
  - Horizontal Datum: Liber 9945 Folio 722, Liber 9957 Folio 199
  - Boundary Survey performed by Landesign, Inc. June, 2007.
  - Topographic Survey performed by Landesign, Inc. June, 2007.
  - The subject site is located in Zone "C" of the Flood Insurance Program's Flood Insurance Rate Map on Community Panel #245208 0040 C.
  - Development Regulations (C-0 Zone)
    - Setback from street: 10 feet
    - Setback from side property line: 12' or landscape manual, whichever is greater.
    - Setback from rear property line: 25' or landscape manual, whichever is greater.
  - Footings are to extend to virgin soil.
  - Fill under building slab to be Class No. 1.
  - Fill under driveways and sidewalks to be Class No. 2.
  - Fill under any remaining areas to be Class No. 3.
  - Area Statement:
    - Total Site Area: 116,674 sq.ft. or 2.6785 ac.
    - Area Dedicated to Public: 15,674 sq.ft. or 0.3598 ac.
    - Net Lot Area: 101,000 sq.ft. or 2.3186 ac.
    - Disturbed Area: 58,900 sq.ft. or 0.8930 ac.
    - Undisturbed Area: 62,100 sq.ft. or 1.4256 ac.
    - Existing Lot Coverage: 89,750 sq.ft. or 88.9%
    - Proposed Lot Coverage: 76,500 sq.ft. or 75.7%
  - Playground Area Statement:
    - Total No. of children at Daycare: 48
    - Area Required for children: 75 sq.ft. per child
    - 48 children x 75 sq.ft. = 3,600 sq.ft.
    - Area Provided for Outdoor Play Area: 4,450 sq.ft.
  - Parking Area Statement:
    - Church:
      - Congregation: 200 people (seats)
      - Required Parking: 1 space per 4 seats
      - 200 / 4 = 50 SPACES
    - Daycare -
      - Enrollment: 48 children
      - Required Parking: 1 space per 8 children
      - 48 / 8 = 6 SPACES
    - Multi-Purpose Buildings:
      - Seating within both buildings: 100 seats
      - Required Parking: 1 space per 4 seats
      - 100 / 4 = 25 SPACES
    - Storage Building:
      - Required Parking: 1 Space/500 sf
      - 1660 / 500 = 4 SPACES
    - Total Required Parking: 85 SPACES
    - Total Required HC Parking: 4 SPACES
    - with a minimum of 1 van accessible space
    - Loading Spaces Required: 1 SPACES
  - Parking Provided:
    - Regular Parking (9.5'x19'): 67 SPACES
    - Compact Parking (8'x16.5'): 15 SPACES
    - Van Accessible Parking Space (16'x19'): 4 SPACES
    - Total: 86 SPACES
    - Maximum Compact Spaces: (85 spaces/3) + (86-85) = 29 SPACES
    - Compact Spaces Provided: 15 SPACES
    - Loading Space Provided: 1 SPACE
  - Number of proposed dwelling units: 0
  - Gross floor area of proposed building: 3,812 sq.ft.
  - Traffic Arrows depicted will be stripped on pavement at locations shown hereon.
  - Stormwater Management Concept Number: 7109-2008-01
  - A 10' Public Utility Easement is shown hereon.
  - Mandatory park dedication: not applicable
  - There are no cemeteries on or contiguous to the property.
  - There are no historic sites on or adjacent to the subject property.
  - There are no non-tidal wetlands on the subject property.
  - There is no 100 year floodplain on the subject property.
  - The subject property is not located within the Chesapeake Bay Critical Area.
  - Applicant: Walker Mill Baptist Church 6801 Walker Mill Road District Heights, Md 20747

\*\*For Landscaping See Sheet 3 of 3

**M-NCPPC APPROVALS**

PROJECT NAME: Walker Mill Baptist Church

PROJECT NUMBER: DSP-04089

No Conditions of Approval on This Plan Cover Sheet or Approval Sheet Revisions Listed Below Apply to This Sheet

Approval or Revision #	Approval Date	Reviewer's Initials	Certification Date
01	7-29-10	JK	10-20-10

- DEVELOPMENT NOTES**
- Existing barbed wire fencing to be removed to conform with Section 27-447(c) of the Prince George's County Code
  - Existing asphalt to be restriped to match proposed parking layout shown hereon
  - Outdoor play area shall be used only in daylight hours per Section 27-464.02(a)(1)(A)(vii) of the Prince George's County Code
  - Traffic Arrows depicted will be stripped on pavement at locations shown hereon.
- GRAPHIC SCALE**
- (IN FEET)  
1 inch = 30 ft

**LEGEND**

LOT AT PROPERTY LINE	---
PROPOSED CONTOUR	--- 94
PROPOSED WATER	---
PROPOSED SANITARY SEWER	---
EXISTING TREENE	---
PROPOSED SPOT ELEVATION	93.5
EXISTING FIRE HYDRANT	---

DATE	REVISION
03/25/10	Addressed DPW&T Traffic comments
4/23/10	Addressed MNCPPC Comments
6/3/10	Addressed DSP Comments
6/7/10	Addressed DSP Comments
6-28-10	Address DSP/Traffic Comments
7-13-10	Address DSP/AC Conditions of Approval

**Landesign**

ENGINEERS \* SURVEYORS \* PLANNERS

2905 MITC  
B  
ELLVILLE ROAD SUITE NO. 111  
BIE, MARYLAND 20716  
(301) 249-8802

OWNER/DEVELOPER

WALKER MILL BAPTIST CHURCH  
6801 WALKER MILL ROAD  
CAPITOL HEIGHTS, MD 20743  
301-808-4992

DETAILED SITE PLAN

\*For Commercial Entrance/Sidewalk Configuration see Storm Drain and Paving Plan sheet 2 only!

PARCEL 'A', LIBER 29583 FOLIO 429

**WALKER MILL BAPTIST CHURCH**

SPAULDING 6th ELECTION DISTRICT  
PRINCE GEORGE'S COUNTY, MARYLAND

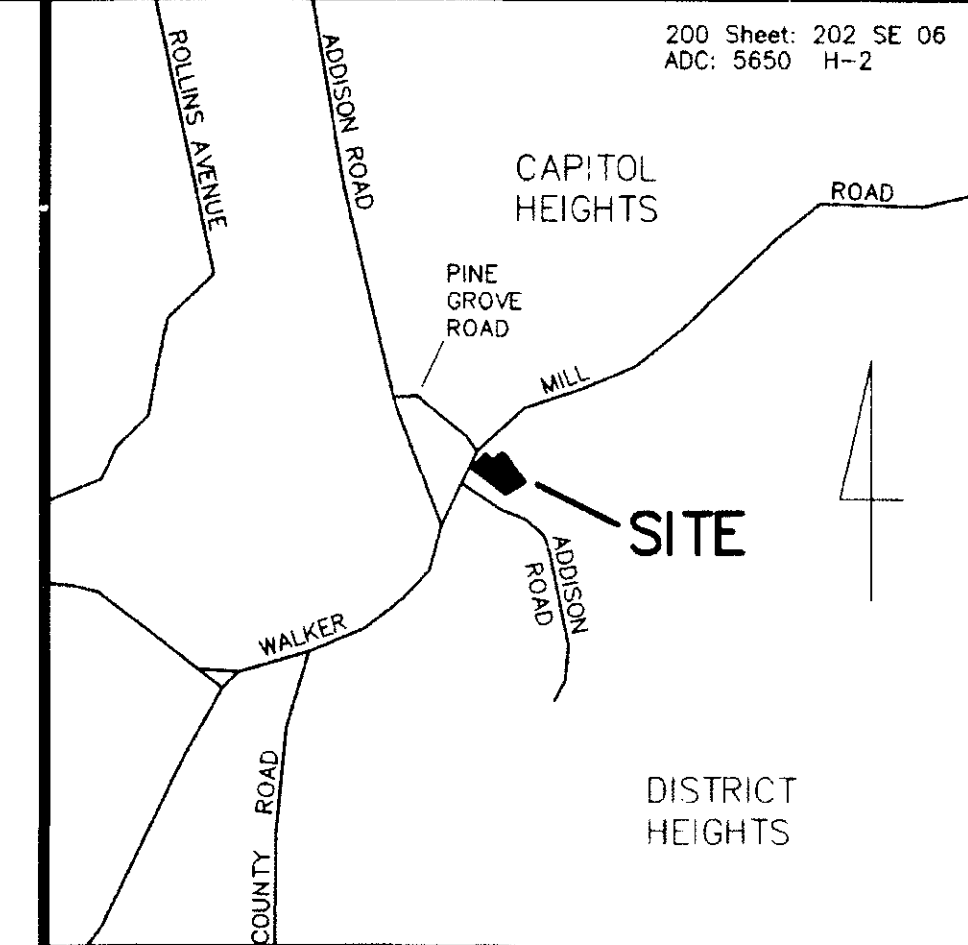
DATE: JAN., 2010  
SCALE: 1" = 30'

DESIGN BY: J.C.  
DRAWN BY: DH&JF

CHECKED BY: W.B.  
SHEET No: 1 of 3

COMPUTER: "E"  
FIELD BOOK: 124

JOB No: 07-002



VICINITY MAP SCALE: 1"=2000'

- GENERAL NOTES**
1. Subject Site Description: Parcel 'A' - PB 230 P.62
  2. Total Site Area: 116,674 sq. ft. or 2.6785 acres
  3. Existing Site Use: Church / Daycare
  4. Property Zoned: C-0
  5. Property located on Prince George's County Tax Map 073 Grid D-4.
  6. Property located on Prince George's County Street Map 5650 Grid H-2.
  7. Property located on Prince George's County Soils Survey Map 25.
  8. Property located in Prince George's County Planning Area: 75A Sutherland District Heights
  9. Property located in Councilmanic District No. 7 Camille A. Exum
  10. Property located on Prince George's County 200' scale topography 202 SE 06.
  11. Property located on U.S.G.S. Map Anacostia Quadrangle.
  12. Soil Types: 50% BMB - Beltville - Urban Land Complex, 0-5% slopes; 50% G - Gravel and borrow pits
  13. Electric service: PEPCO
  14. Telephone service: Verizon
  15. Sewage disposal: Public Sewer
  16. Water supply: Public Water
  17. Sewer and Water Categories: S-3, W-3
  18. Vertical Datum: W.S.S.C.
  19. Horizontal Datum: Liber 9945 Folia 722, Liber 9957 Folia 199
  20. Boundary Survey performed by Landesign, Inc. June, 2007.
  21. Topographic Survey performed by Landesign, Inc. June, 2007.
  22. The subject site is located in Zone "C" of the Flood Insurance Program's Flood Insurance Rate Map on Community Panel #245208 0040 C.
  23. Development Regulations (C-0 Zone)
    - a. Setback from street: 10 feet
    - b. Setback from side property line: 12' or landscape manual, whichever is greater.
    - c. Setback from rear property line: 25' or landscape manual, whichever is greater.
  24. Footings are to extend to virgin soil.
  25. Fill under building slab to be Class No. 1. Fill under driveways and sidewalks to be Class No. 2. Fill under any remaining areas to be Class No. 3.
  26. Area Statement:
 

Total Site Area:	116,674 sq. ft. or 2.6785 ac.
Area placed into Reservation:	14,390 sq. ft. or 0.3303 ac.
Net Lot Area:	102,284 sq. ft. or 2.3481 ac.
Disturbed Area:	38,900 sq. ft. or 0.8930 ac.
Undisturbed Area:	77,774 sq. ft. or 1.7854 ac.
Existing Lot Coverage:	89,790 sq. ft. or 76.9%.
Proposed Lot Coverage:	76,500 sq. ft. or 65.6%.
  27. Provide an acceptable Bacteria Report for [BT-1] and [BT-2].

NOTE: The location of all utilities shown hereon was taken from available records (WSSC as-built drawings) and from field inspection; however, their location cannot be guaranteed. Contractor shall dig test pits by hand at all utility crossings, and at points of connection, prior to any excavation and/or trenching, to verify exact locations.

NOTE: The holder of this permit shall give at least 48 hours advance notice to the authorized inspection agency before any construction under this permit is undertaken, and shall give certification of completion of work in accordance with the Plans and Permit. (Certification Form)

**NOTICE**

NO WORK can proceed on the Water and Sewer Service Connections until a "Service Connection permit" has been obtained from the Service Application and Record Section, and inspection has been arranged by the WSSC Bureau of Construction. To arrange an inspection call (301) 206-8043. FAILURE TO COMPLY WITH THESE REQUIREMENTS MAY RESULT IN THE ISSUANCE OF CIVIL PENALTIES, AND/OR OTHER REMEDIES ALLOWED BY LAW.

The Site Utility (Onsite) Water and/or Sewer System shown on this Plan is accepted for design criteria only. This acceptance does not constitute a warranty, nor does it release the party submitting the plan from full responsibility for the design of this system, as well as, any deficiency which may subsequently be found. The party submitting the plan is responsible for actual construction in accordance with an applicable Site Utility Permit which must be acquired and executed before any work shall commence.

(Signature, Regulatory Services) \_\_\_\_\_ Date \_\_\_\_\_

**WSSC ENVIRONMENTAL ENGINEERING  
SEDIMENT CONTROL AND CONSTRUCTION NOTES**

1. 48 hours advance notice is required prior to Utility Construction at 301-206-8077.
2. All utility installation must be in conformance with the conditions of the Soil Conservation District/County/MD approved Sediment Control Plan 50204-10, approved date 3-1-10, and with all erosion and sediment control measures contained within this plan. The Applicant is required to notify the WSSC Sediment Control Inspector of any changes and modifications to the SCD/County/MD approved sediment control plan.
3. The engineering company or Contractor shall hand dig pits at all gas utility crossings to determine the exact location and depth, well in advance of construction. Vertical "as-built" information on gas main depth is unavailable.
4. For making locations of Washington Gas Facilities, please notify "Miss Utility" at 1-800-257-7777, 48 hours prior to any excavation or construction.

Notify Customer Care Support Services Group 72 Hours in advance of Construction in the vicinity of the Ex. 30" Watermain.

**BLOCKING NOTES**

1. Block all fittings with concrete. See WSSC Standard Details B/1.3 and B/1.4.
2. Apply "RESTRAINED JOINT PIPE" tape on top of pipe with restrained joints prior to blocking. Place tape on clean, dry surfaces for entire length of pipe. Do not place tape on fire hydrant leads.

**CONTACT "MISS UTILITY"**  
48 HOURS PRIOR TO TRENCHING  
1-800-257-7777

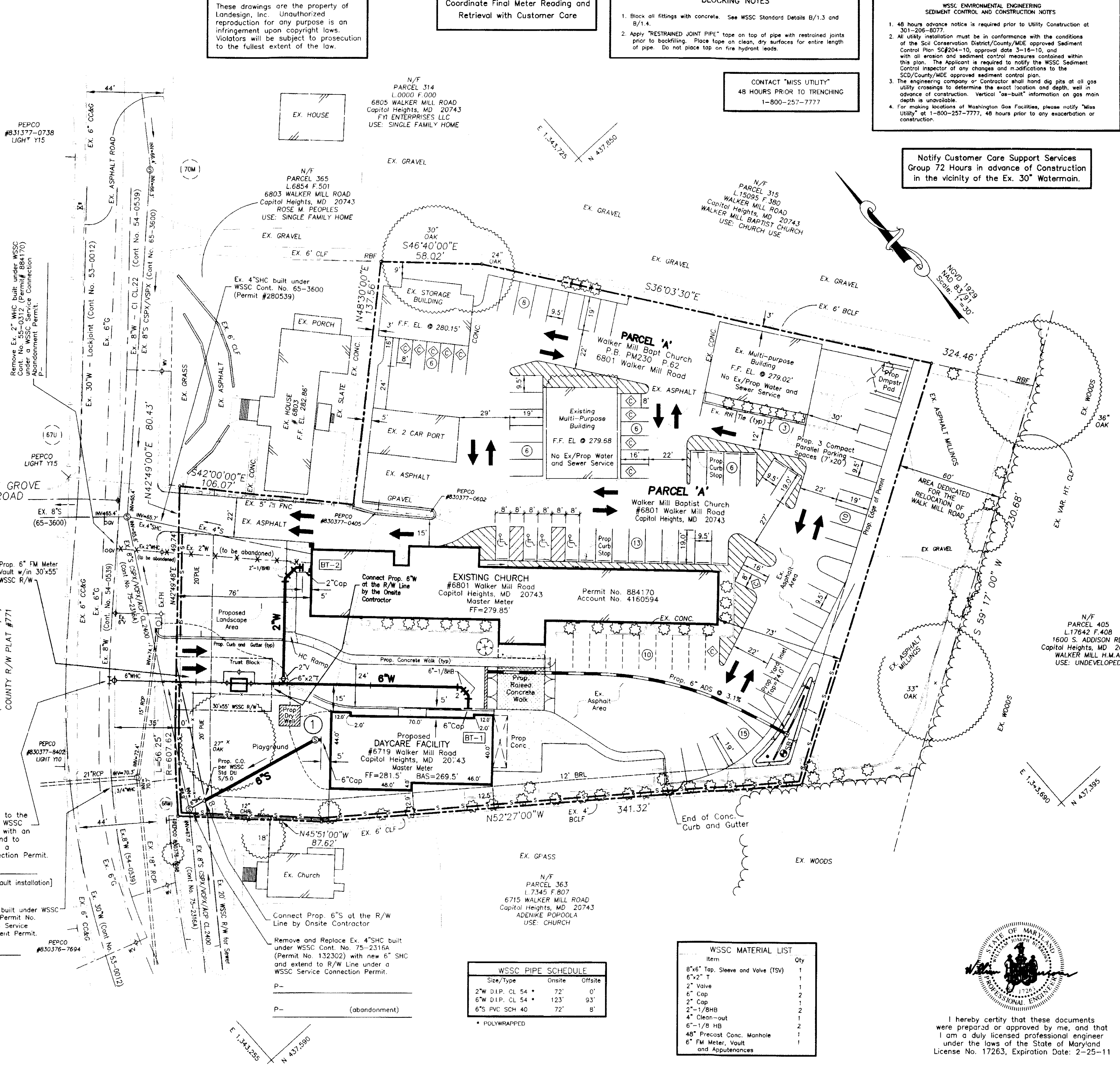
Coordinate Final Meter Reading and Retrieval with Customer Care

These drawings are the property of Landesign, Inc. Unauthorized reproduction for any purpose is an infringement upon copyright laws. Violators will be subject to prosecution to the fullest extent of the law.

**General On-site Water and Sewer Notes**

1. Permit - Approval of the plan shall not constitute a commitment for service or an authorization to begin the site utility system construction. The applicant shall obtain a site utility permit from the WSSC Permit Services Unit before construction may commence.
2. Permission - The applicant shall obtain all necessary permits from any Federal, State and/or local permit authority having jurisdiction over any phase of construction associated with the installation of this site utility system.
3. Pretreatment - Water and/or sewer service is conditional upon compliance with any current or future Federal, State, and local regulations covering the discharge of wastes to any body of water or to a publicly owned treatment facility. Pretreatment will be required if industrial waste exceeds levels indicated in the WSSC Plumbing and Fuel Gas Code.
4. Notification - The site utility contractor shall notify the Plan Review Unit of the Regulatory Services Group at (301) 206-8598 and the applicant's engineer or agent at least 48 hours prior to commencing construction.
5. Coordination - When the site utility water and sewer system installation proceeds, WSSC service connection installation, the applicant is fully responsible for ensuring proper line and grade between the service connection and the site utility system. The site utility contractor shall verify the locations of all WSSC facilities prior to beginning construction. All water and sewer connections shall terminate 5 feet from outside walls of buildings, unless as shown on the approved plans.
6. Standards - All site utility water and sanitary sewer construction materials and appearances shall comply with the latest editions of the Washington Suburban Sanitary Commission's General Conditions & Standard Specifications, Pipeline Design Manual, Standard Details for Construction, The Plumbing & Fuel Gas Code and this approved plan.
7. Observation - A State of Maryland registered professional engineer shall be responsible for general oversight and observation of the site utility system installation for compliance with standards and testing requirements outlined below.
8. Testing - The following tests shall be administered by the site utility contractor and witnessed and reported by the applicant's engineer or agent: Water, Chlorine residual and bacteriological. Results shall be obtained and reported by an independent Maryland certified laboratory and must include the following statement: "This sample meets federal standards for drinking water and is safe for human consumption."  
Water: Hydrostatic, 200 psi for 2 hours or as specified on this plan.  
Sewer: Mandrel shall be pulled through all segments 6" and larger.  
Sewer, Gravity, Air test, 4 psi for 5 minutes, for all segments greater than 25 feet.  
Sewer, Pressure, Hydrostatic, 100 psi for 120 minutes or as specified on this plan.  
All testing equipment shall be furnished by the site utility contractor.
9. Water Connection - Connection of the site utility water system to a WSSC service connection, WSSC water main or the building water distribution system is prohibited until the chlorine residual and bacteriological tests as well as the required hydrostatic tests have been performed and the results reported. The applicant shall submit the reports to the Regulatory Services Group. Plans Review for release of the site utility water system.
10. Sewer Connection - Connection of the site utility sewer system to a WSSC service connection, WSSC sewer main or the building drain is prohibited until the applicable tests have been performed, the results reported and found to comply with all requirements. The applicant shall submit reports to the Regulatory Services Group, Plans Review, for release of the site utility sewer system.
11. Responsibilities - The applicant and agents shall comply with the requirements of any service connection permit (SCP), relocation work (RWS) or main line extension (SEF) prior to connecting the site utility system to the Commission system.
12. Certification - A State of Maryland registered professional engineer's certification of the site utility system and two print sets of final as-built drawings shall be submitted to the WSSC Regulatory Services Group, Plans Review. The drawing shall reflect any field changes and indicate "lies" for the location of valves, bends, manholes, fire hydrants, appurtenances, etc.
13. Building Water and Sewer - This plan may designate "building water", "building sewer" or a plumbing appearance such as an intersection. The work shown in "light blue" on this plan is for reference only and shall be installed and inspected under a separate WSSC plumbing permit.
14. Fire Hydrant Color - Site utility fire hydrants shall be painted red.
15. Follow-up Inspections - Manholes and fire hydrants shall receive a follow-up inspection by a WSSC Plumbing Inspector in conjunction with the final plumbing inspection. Manhole construction shall be intact after final paving and grading, and shall meet the Standard Details for Construction. Fire hydrants shall be similarly inspected to ensure valve box access and compliance with WSSC monitoring requirements where applicable.

WALKER MILL ROAD  
(PUBLIC VARIABLE R/W)  
COUNTY R/W PLAT #771



06/13/11  
10-OS-1152  
PART I - INFORMATION PROVIDED BY THE APPLICANT

LOCATION OF WORK	Walker Mill Baptist Church
PROJECT LOCATION	6801 Walker Mill Road, Capitol Heights, MD 20743
PROJECT DESCRIPTION	Proposed Water and Sewer Service Connections
DATE OF PERMIT APPLICATION	06/13/11
DATE OF PERMIT	06/13/11
DATE OF EXPIRATION	06/13/12
DATE OF RENEWAL	06/13/12
DATE OF CLOSURE	06/13/12
DATE OF REMOVAL	06/13/12
DATE OF REPAIR	06/13/12
DATE OF REPLACEMENT	06/13/12
DATE OF RECONSTRUCTION	06/13/12
DATE OF REPAIR/RECONSTRUCTION	06/13/12
DATE OF REMOVAL/RECONSTRUCTION	06/13/12
DATE OF REPAIR/RECONSTRUCTION/REMOVAL	06/13/12
DATE OF REPAIR/RECONSTRUCTION/REMOVAL/RECONSTRUCTION	06/13/12

PART II - INFORMATION PROVIDED BY WSSC

WSSC DOMESTIC PRESSURE	84
WSSC PRESSURE	52
WSSC PRESSURE WITH FLOW (FOR 100 GPM)	22
WSSC PRESSURE WITH FLOW (FOR 200 GPM)	15
WSSC PRESSURE WITH FLOW (FOR 300 GPM)	10
WSSC PRESSURE WITH FLOW (FOR 400 GPM)	5
WSSC PRESSURE WITH FLOW (FOR 500 GPM)	0

Connect new 6"WHC to the Ex. 8" W built under WSSC Cont. No. 54-0539 with an 8" x 8" TSV and extend to the R/W Line under a WSSC Service Connection Permit.

Remove Ex. 3" WHC built under WSSC Cont. No. 54-0539 (Permit No. 132302) with a WSSC Service Connection Abandonment Permit.

Remove and Replace Ex. 4" SHC built under WSSC Cont. No. 75-2316A (Permit No. 132302) with new 6" SHC and extend to R/W Line under a WSSC Service Connection Permit.

(abandonment)

**WSSC PIPE SCHEDULE**

Size/Type	Onsite	Offsite
2" W D.I.P. CL 54	72'	0'
6" W D.I.P. CL 54	123'	93'
6" S PVC SCH 40	72'	8'

\* POLYWRAPPED

**WSSC MATERIAL LIST**

Item	Qty
8"x6" Tap, Sleeve and Valve (TSV)	1
6"x2" T	1
2" Valve	1
6" Cap	2
2" Cap	1
2"-1/8" BHB	2
4" Clean-out	1
6"-1/8" HB	2
48" Precast Conc. Manhole	1
6" FM Meter, Vault and Appurtenances	1

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland License No. 17263, Expiration Date: 2-25-11

HHG = 465'  
LHG = 392'

Address: 6719 and 6801 Walker Mill Road Capitol Heights, MD 20743 Average Sewage Flow: 500 gal/day (Daycare) Peak Domestic Flow: 26.0 gpm 200 Sheet: 202 SE 06

WSSC On-site No.: 10-OS-1152

DATE	REVISION
8-10-10	Address WSSC Comments
11-29-10	Address WSSC Comments
1-21-11	Address new WSSC Comments

**Landesign**  
ENGINEERS • SURVEYORS • PLANNERS  
2935 MITCHELLVILLE ROAD SUITE NO. 111  
BOWIE, MARYLAND 20716  
(301) 249-8802  
Contact Person: Jeffrey J. Felker email:landesigninc@comcast.net

**OWNER/DEVELOPER**  
WALKER MILL BAPTIST CHURCH  
6801 Walker Mill Road  
Capitol Heights, Maryland 20743  
Attn: Pastor Kennedy  
301-808-4992  
lagal912@hotmail.com

**On-Site Water and Sewer Plan**  
\*For Water and Sewer Purposes Only!!

**PARCEL 'A'  
WALKER MILL BAPTIST CHURCH**  
Plat Book: PM 230 Plat: 62  
6719 and 6801 Walker Mill Road Capitol Heights, MD 20743  
Spaulding Election District No.6  
Prince George's County, Maryland

DATE: 1-13-10	SCALE: 1"=30'
DESIGN BY: JF	DRAWN BY: JF
CHECKED BY: WB	SHEET No: 1 OF 2
COMPUTER: 'E'	JOB No: 07-002
FIELD BOOK: 124	

